

HISTORIC AND DESIGN REVIEW COMMISSION

August 17, 2022

HDRC CASE NO: 2022-432
ADDRESS: 318 FLORIDA ST
LEGAL DESCRIPTION: NCB 3010 BLK 8 LOT 5
ZONING: R-6, H
CITY COUNCIL DIST.: 1
DISTRICT: Lavaca Historic District
APPLICANT: Anita Alvarado
OWNER: MARTINEZ REYES D JR &
TYPE OF WORK: Partial demolition, addition
APPLICATION RECEIVED: July 24, 2022
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Jessica Anderson

REQUEST:

The applicant requests a Certificate of Appropriateness for approval to demolish the rear porch and construct an approximately 600-square-foot rear addition.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

7. Architectural Features: Porches, Balconies, and Porte-Cocheres

A. MAINTENANCE (PRESERVATION)

- i. *Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.
- ii. *Balusters*—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.
- iii. *Floors*—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.
- ii. *Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.
- iii. *Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.
- iv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.
- v. *Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

Historic Design Guidelines, Chapter 3, Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. *Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.

- ii. *Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. *Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. *Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. *Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- ii. *Rooftop additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. *Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. *Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. *Height*—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

- i. *Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.
- ii. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.
- iii. *Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

B. INAPPROPRIATE MATERIALS

- i. *Imitation or synthetic materials*—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

C. REUSE OF HISTORIC MATERIALS

- ii. *Salvage*—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

4. Architectural Details

A. GENERAL

- i. *Historic context*—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.
- ii. *Architectural details*—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.

- iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

Standard Specifications for Windows in Additions and New Construction

- **GENERAL:** New windows on additions should relate to the windows of the primary historic structure in terms of materiality and overall appearance. Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high-quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below. Whole window systems should match the size of historic windows on property unless otherwise approved.
- **SIZE:** Windows should feature traditional dimensions and proportions as found within the district.
- **SASH:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- **DEPTH:** There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash.
 - This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- **TRIM:** Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.
- **GLAZING:** Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- **COLOR:** Wood windows should feature a painted finished. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.
- **INSTALLATION:** Wood windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval.
- **FINAL APPROVAL:** If the proposed window does not meet the aforementioned stipulations, then the applicant must submit updated window specifications to staff for review, prior to purchase and installation. For more assistance, the applicant may request the window supplier to coordinate with staff directly for verification.

FINDINGS:

- a. The property at 318 Florida is a single-story Folk Victorian residence built c. 1912. It has a steeply hipped standing seam metal roof with brick chimney and a full-width front porch with round columns. The house is clad in wood waterfall siding and features one-over-one wood windows on the majority of elevations, with fixed-glass windows on the enclosed rear porch. The house contributes to the Lavaca historic district.
- b. **DEMOLITION OF REAR PORCH:** The applicant requests approval to demolish a one-story porch at the rear of the house. The house first appears on Sanborn Fire Insurance maps along with a partial-width rear porch in 1912. The partial-width porch remained through the house's last appearance on these maps in 1951. Staff was unable to determine when the rear porch was extended and infilled. Because the current conditions of the rear porch are not original, staff finds the rear porch demolition generally appropriate.
- c. **ADDITION (GENERAL):** Guidelines for Additions 1.A states that additions should be sited at the side or rear of a building to minimize views from the public right-of-way (1.A.i); that additions should be designed in keeping with the existing, historic context of the block (1.A.ii); and that additions should utilize a similar roof pitch, form, overhang, and orientation as the historic structure (1.A.iii). Additionally, Guideline 1.A.iv states that a setback or recessed area should be utilized to provide a clear distinction between old and new building forms. The applicant proposes setbacks at the rear corners of the existing house and steps down from the existing roof to the new roof form, clearly differentiating the existing house from the proposed addition. Staff finds the proposed addition conforms to these guidelines.
- d. **ADDITION (FOOTPRINT):** The applicant requests approval to construct an approximately 600-square-foot single-story addition to the rear of the property. Guidelines for Additions, 1.B.iv states that residential additions should not be so large as to double the existing building footprint, regardless of lot size. The house currently has 1,184 square feet of living area plus a 261-square foot enclosed porch, bringing the total enclosed space to 1,445 square feet. The applicant proposes to demolish the rear enclosed porch before adding the 600-square-

foot addition, which would bring the total square footage to 1,784. Staff finds the proposed addition conforms to this guideline.

- e. **ADDITION (MATERIALS):** The applicant proposes using siding and trim on the addition that matches existing historic siding and trim as well as a standing-seam metal roof that matches the existing roof. Additionally, they propose using siding salvaged from the house where possible. Guidelines for Additions 3.A.i says materials on additions should match in type, color, and texture and that new materials must be compatible with the original structure. Guideline 3.A.ii says new metal roofs should be constructed in a similar fashion as historic metal roofs. Guideline 3.C.i suggests salvaging and reusing historic materials, where possible, that will be covered or removed as a result of an addition. Staff finds the proposed addition meets these guidelines.
- f. **ADDITION (WINDOWS):** The applicant proposes using wood-frame one-over-one single-hung windows that match existing windows in both material and dimensions, with the exception of one fixed-glass window on the west elevation. Standard Specifications for Windows in Additions and New Construction state that new windows on additions should relate to the windows of the primary historic structure in terms of materiality and overall appearance and that windows should feature traditional dimensions and proportions as found within the district. Proposed one-over-one windows meet these standards; the fixed-glass window on the west elevation does not conform to staff standards.
- g. **ADDITION (DOOR):** The applicant proposes an inset door on the west elevation but did not provide specifications for the proposed door. The new doors should match the Folk Victorian house in style, such as half-lite wood door, commonly found on secondary entrances of Folk Victorian homes.
- h. **ADDITION (ARCHITECTURAL DETAILS: RAILING):** The applicant proposes a wood-frame porch and ramp on the east side of the addition with a horizontally-oriented railing. Guideline 4.A.ii for Additions states that additions should incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Staff finds the deck is generally appropriate, but that the applicant should choose a style of railing more in keeping with the architectural style of the original structure.

RECOMMENDATION:

Staff recommends approval of demolition of the rear porch based on finding b.

Staff recommends approval of the construction of an approximately 600-square-foot rear addition based on items c through h, with the following stipulations:

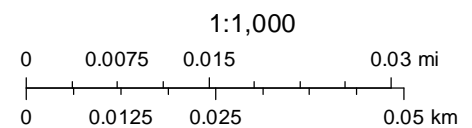
- i. That the applicant proposes a door for the west elevation that matches the Folk Victorian house in style, such as a half-lite wood door, commonly found on secondary entrances of Folk Victorian homes.
- ii. That the design for the west porch incorporate a style of railing more in keeping with the architectural style of the original structure, namely one with vertical balusters.

City of San Antonio One Stop



August 12, 2022

- CoSA Addresses
- Community Service Centers
- Pre-K Sites
- CoSA Parcels
- BCAD Parcels



318 FLORIDA

SAN ANTONIO TX 78210

GENERAL NOTES:

1. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE FOR A WATERTIGHT AND WEATHER TIGHT BUILDING. THE CONTRACTOR SHALL REVIEW ALL DETAILS RELATING TO THIS INTENT AND BY ENTERING INTO THIS CONSTRUCTION CONTRACT WARRANTS FOR ONE FULL YEAR THE ADEQUACY OF THESE DETAILS.
2. THE INTENT OF THE DRAWING IS TO PROVIDE FOR A PLUMB, LEVEL AND SQUARE STRUCTURE UNLESS OTHERWISE NOTED.
3. THE BUILDING SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH CURRENT INTERNATIONAL RESIDENTIAL BUILDING CODE AND ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS AS WELL AS THE DRAWINGS AND SPECIFICATIONS.
4. THE OWNER SHALL NOT BE RESPONSIBLE FOR CHANGES TO THE WORK DUE TO THE FAILURE OF THE CONTRACTOR TO FAMILIARIZE HIMSELF OR HERSELF WITH EXISTING CONDITIONS, DRAWINGS AND SPECIFICATIONS.
5. DO NOT SCALE THE DRAWINGS. ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE AND SHOULD BE FIELD VERIFIED AND COORDINATED WITH WORK OF ALL TRADES.
6. DETAILS ARE MEANT TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, ALL INCLUDED AS PART OF THE WORK.
7. THE CONTRACTOR SHALL PROVIDE ALL PERMITS AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK IN ACCORDANCE WITH APPLICABLE CODES AND GOVERNING REGULATIONS.
8. THE CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL PADS AND PANELS AS WELL AS POWER, WATER, AND DRAIN REQUIREMENTS FOR SUCH EQUIPMENT AND EQUIPMENT MANUFACTURERS.
9. ALL WIDTHS ARE SHOWN AND DIMENSIONED WITH NOMINAL DIMENSIONS (I.E. 6" = 5 1/2").
10. ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
11. CONTRACTOR TO PROVIDE DUMPSTER AND TEMPORARY TOILET. SITE SHOULD BE CLEANED REGULARLY.
12. ALL DIMENSIONS ARE TO FACE OF STUD OR WALL FACE UNLESS OTHERWISE NOTED.
13. INTERIOR WALLS TO BE 2X4 WOOD STUDS AT 16" O.C., UNLESS OTHERWISE NOTED FOR PLUMBING WALLS.
14. EXTERIOR WALLS SHALL MATCH EXISTING STRUCTURE. IF NEW CONSTRUCTION, SHALL BE 2X4 WOOD STUDS AT 16" O.C., UNLESS OTHERWISE NOTED.
15. ALL RESIDENTIAL STRUCTURES SHALL USE 5/8" TYPE X SHEETROCK FOR ALL NEW STRUCTURE AND WHERE GREATER THAN 50% OF A WALL SURFACE IS REMOVED, CONCRETE BOARD OR HARDIE BACKER TYPE MATERIAL AT ALL "WET AREAS". USE CEMENT BACKER BOARD AT ALL TILED WALLS, OR FULL SET MORTAR BACKING AT TILED WALLS.
16. ELECTRICAL AND HVAC INSTALLER TO COORDINATE THEIR WORK.
17. A/C PLAN TO BE PROVIDED BY CONTRACTOR AND COORDINATED WITH DESIGNER AND OTHER TRADES. BUILDING CODES, PROVIDE COST ESTIMATE FOR HIGH EFFICIENCY VARIABLE SPEED ZONED SYSTEM WITH MAXIMUM EFFICIENCY FILTERING SYSTEM.
18. EXTERIOR WALL SHEATHING 1/2" PLYWOOD OR ORIENTED STRAND BOARD WRAPPED WITH TYVEK EXTERIOR WATER RESISTANT BARRIER. SEE PROJECT MANUAL FOR CORRECT INSTALLATION OF TYVEK.
19. FOR WATER DISTRIBUTION PIPING ONLY TYPE L SHALL BE USED. TYPE M COPPER, CPVC & PEX NOT ALLOWED.
20. INTERIOR WALLS TO BE LIGHT TEXTURE FINISH WITH 3 COATS PAINT (SATIN). INTERIOR TRIM TO BE PREPARED FOR PAINTING - 3 COATS PAINT (SEMI-GLOSS) INTERIOR TRIM - ALL INTERIOR TRIM TO BE PAINTED WOOD.
21. ALL PLYWOOD AND HARDWOODS AT CABINETS AND SHELVING TO BE "PREMIUM GRADE" AND TO BE FORMALDEHYDE FREE.
22. PROVIDE SEWER CLEANOUTS AS REQUIRED TO SERVICE ALL PLUMBING. VERIFY LOCATIONS WITH ARCHITECT/OWNER PRIOR TO INSTALLATION.
23. CONTRACTOR SHALL COMPLY WITH REQUIREMENTS FOR BACKFLOW PREVENTION DEVICES ON ALL INDIVIDUAL PIECES OF EQUIPMENT AS INDICATED IN TCEQ REGULATIONS.
24. CONTRACTOR SHALL INSTALL VACUUM BREAKER DEVICES ON ALL EXTERIOR HOSE BIBS.
25. CONTRACTOR SHALL INSTALL ARC FAULT CIRCUIT INTERRUPTION PROTECTION ON ALL ELECTRICAL CIRCUITS PER NEC 210.12.
26. SMOKE DETECTORS ARE REQUIRED IN EACH BEDROOM ENTRY AND ADJOINING HALL CEILING. SMOKE DETECTORS SHALL BE ELECTRICALLY HARDWIRED WITH A BATTERY BACKUP. ALL SMOKE DETECTORS SHALL ALSO BE ELECTRICALLY INTERCONNECTED, SO THAT IF ONE GOES INTO ALARM, ALL GO INTO ALARM. DETECTORS SHALL MEET INTERNATIONAL RESIDENTIAL CODE SECTION 317.1.1.
27. COMPLIANCE WITH IRC R613.2 FOR WINDOW SILLS.
28. WATER RISER MUST BE METAL ABOVE GROUND, SCHEDULE 40 PVC MAY ONLY BE USED FOR EXTERIOR PIPING THAT IS UNDERGROUND.
29. ALL WALLS WITH DRAW-WASTE-VENT PLUMBING SHALL BE 2X6 LUMBER.
30. ATTIC ACCESS, MINIMUM OPENING 25.5" X 54", SHALL SUPPORT 350 LBS WITH 20 MINUTES FIRE RESISTANCE.
31. ALL MECHANICAL EQUIPMENT EXHAUST MUST TERMINATE ON THE EXTERIOR OF THE STRUCTURE.
32. ALUMINUM WIRING IS PROHIBITED AND 12/2 WITH GROUND IS THE SMALLEST CONDUCTOR SIZE ALLOWED.
33. NO GREEN/PURPLE ROCK FOR TUB/SHOWER ENCLOSURE
34. LOCATE ALL ROOF VENTS FROM STREET VIEW WHERE POSSIBLE. PAINT TO MATCH ROOF COLOR.

STANDARDS AND REGULATIONS
APPLICABLE STANDARDS OF CONSTRUCTION INDUSTRY AND BUILDING CODES HAVE THE SAME FORCE AND AFFECT ON PERFORMANCE OF THE WORK, AS IF COPIED DIRECTLY INTO CONTRACT DOCUMENTS. GOVERNING REGULATIONS HAVE PRECEDENCE OVER NONREFERENCED STANDARDS. IN SO FAR AS DIFFERENT STANDARDS MAY CONTAIN OVERLAPPING OR CONFLICTING REQUIREMENTS, COMPLY WITH LOCAL BUILDING CODES AND INDUSTRY STANDARDS. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE TO THESE STANDARDS AND REGULATIONS AND FOR THE CONSTRUCTION PERMITS. THE INSTALLATION SHALL MEET THE MINIMUM STANDARD PRESCRIBED IN THE LATEST EDITION AND AMENDMENTS OF THE FOLLOWING STANDARDS. THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL CODES AND THE NEC.

1. BUILDING CODES.....2018 INT. RESIDENTIAL CODE
2. PLUMBING CODE.....2018 UNIFORM PLUMBING CODE
3. MECHANICAL.....2018 INTERNATIONAL MECHANICAL CODE
4. ELECTRICAL CODE.....2017 NATIONAL ELECTRICAL CODE

ALL MECHANICAL, ELECTRICAL, AND PLUMBING INDICATED ON DRAWINGS IS SIMPLY TO AID CONTRACTOR ON GENERAL LOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ELECTRICAL, PLUMBING AND MECHANICAL SIZING, AND SHALL ADHERE TO THESE CODES.

PROJECT TEAM

-OWNER
CODI VIVES 512-284-1033

-DESIGNER
JASON MORAN 210-685-1906

-GENERAL CONTRACTOR

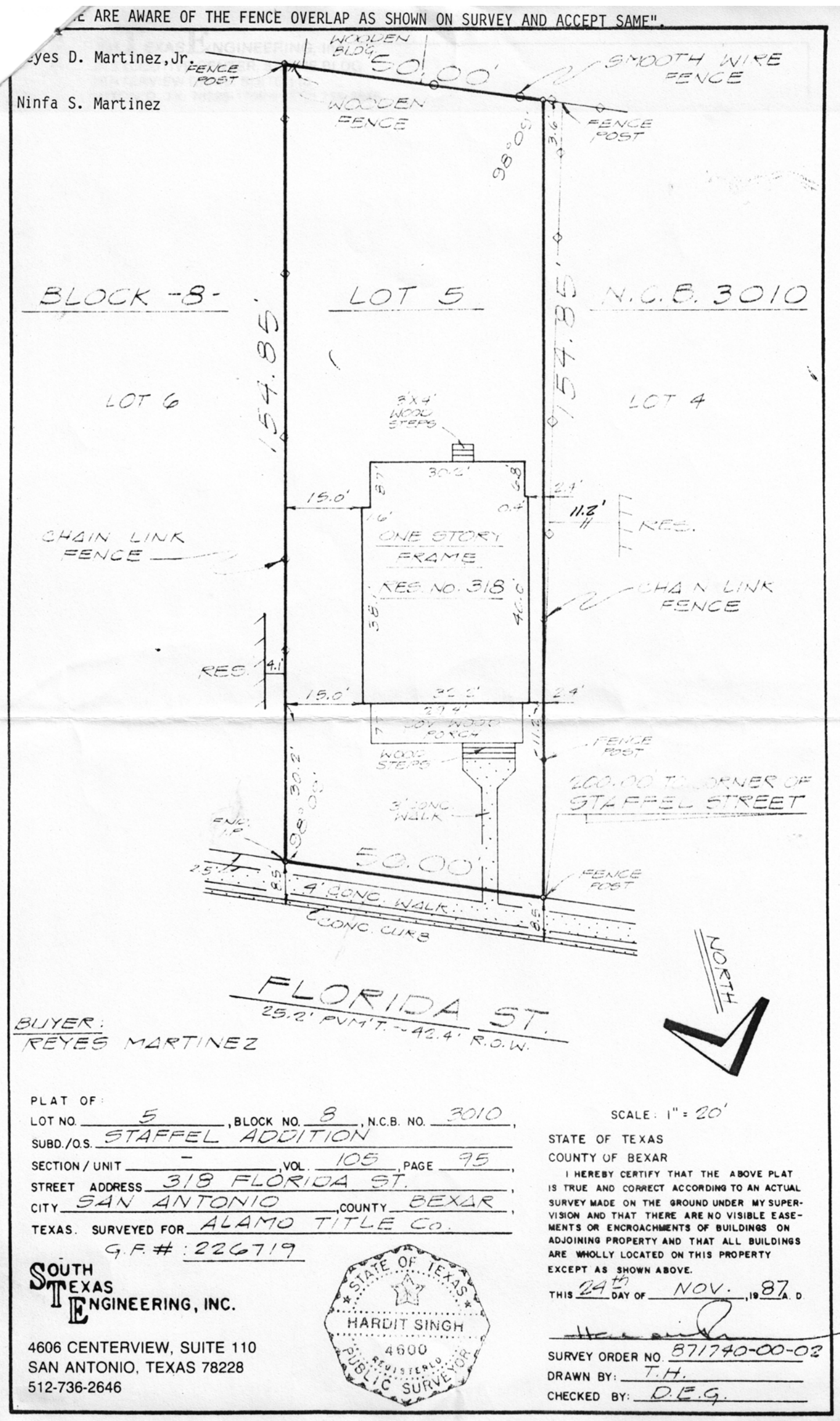
PRECISION CONTRACTING 210-214-5259

SQUARE FOOTAGE CALCULATIONS:

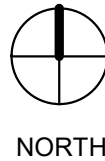
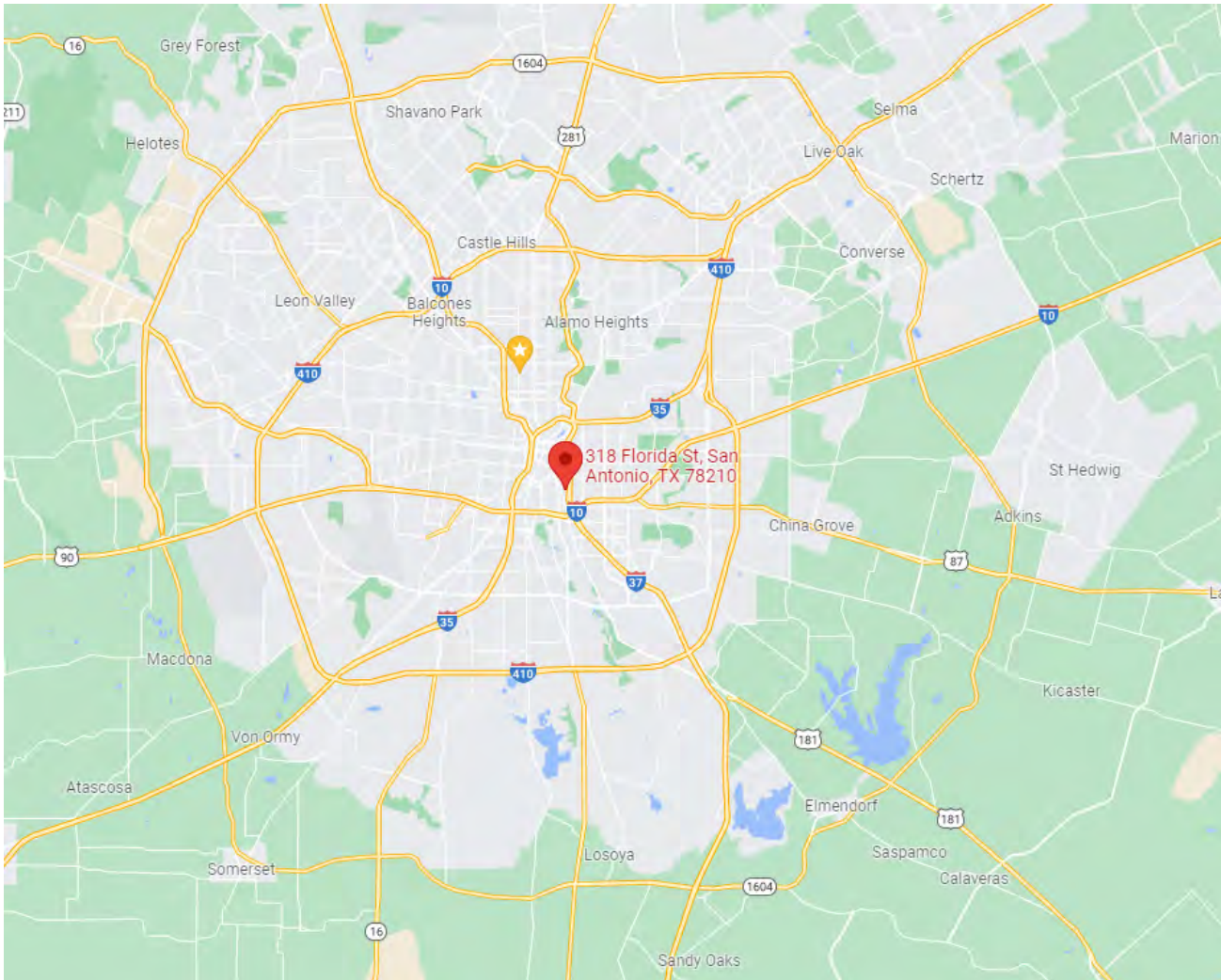
EXISTING.....1,412 SF
NEW.....590 SF
TOTAL.....2,002 SF

Sheet Number	Sheet Name
A-1.0	COVER
A-1.1	DEMO FLOOR PLAN
A-2.0	FLOOR PLAN
A-6.1	POWER & LIGHTING PLAN
A-7.2	ELEVATIONS
A-7.3	STRUCTURAL DETAILS

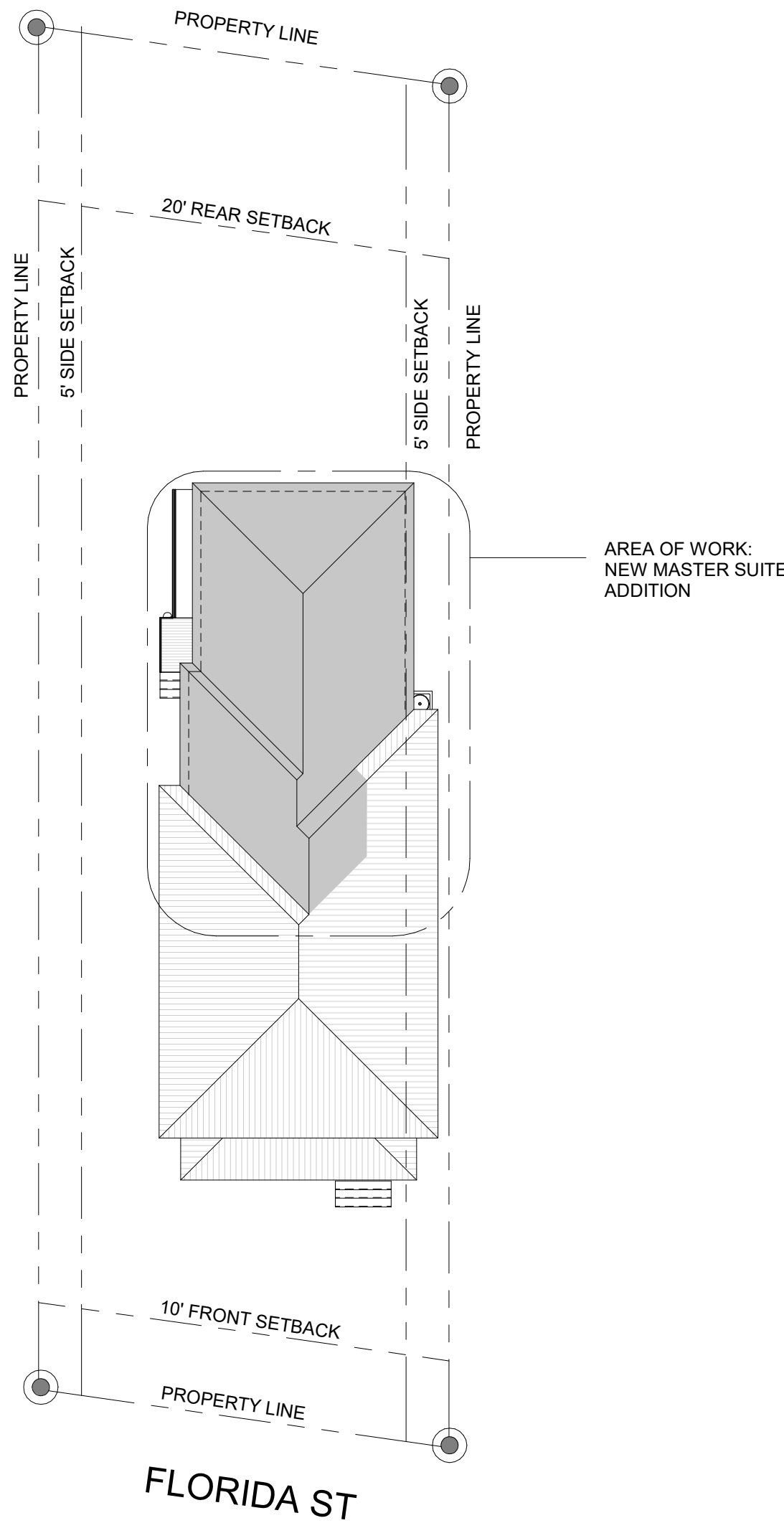
SITE SURVEY



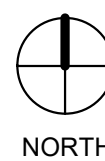
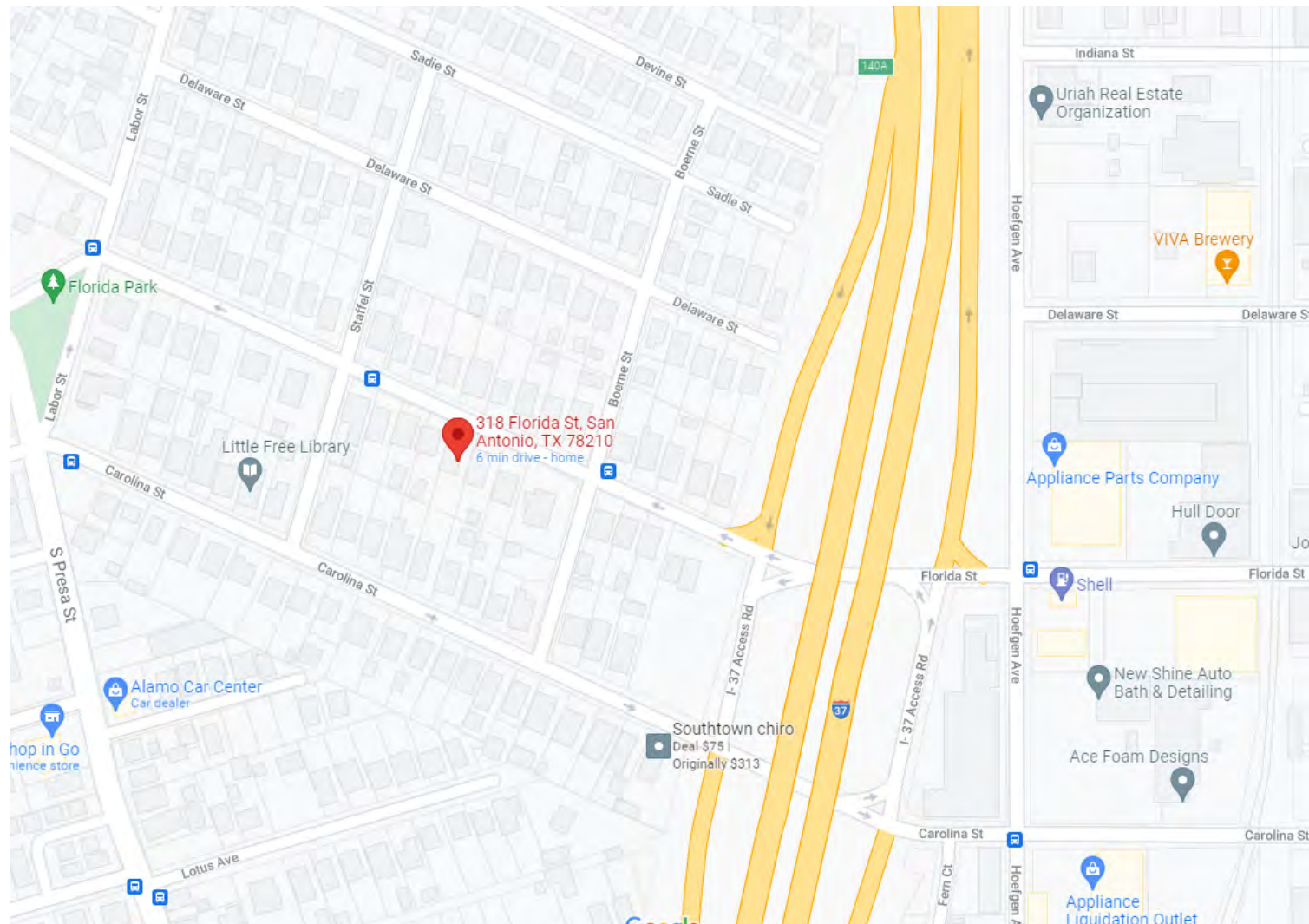
LOCATION MAP



SITE PLAN



VICINITY MAP



JASON MORAN
COLLABORATIVE DESIGNER

318 FLORIDA ST
SAN ANTONIO TX 78210

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ISSUE:

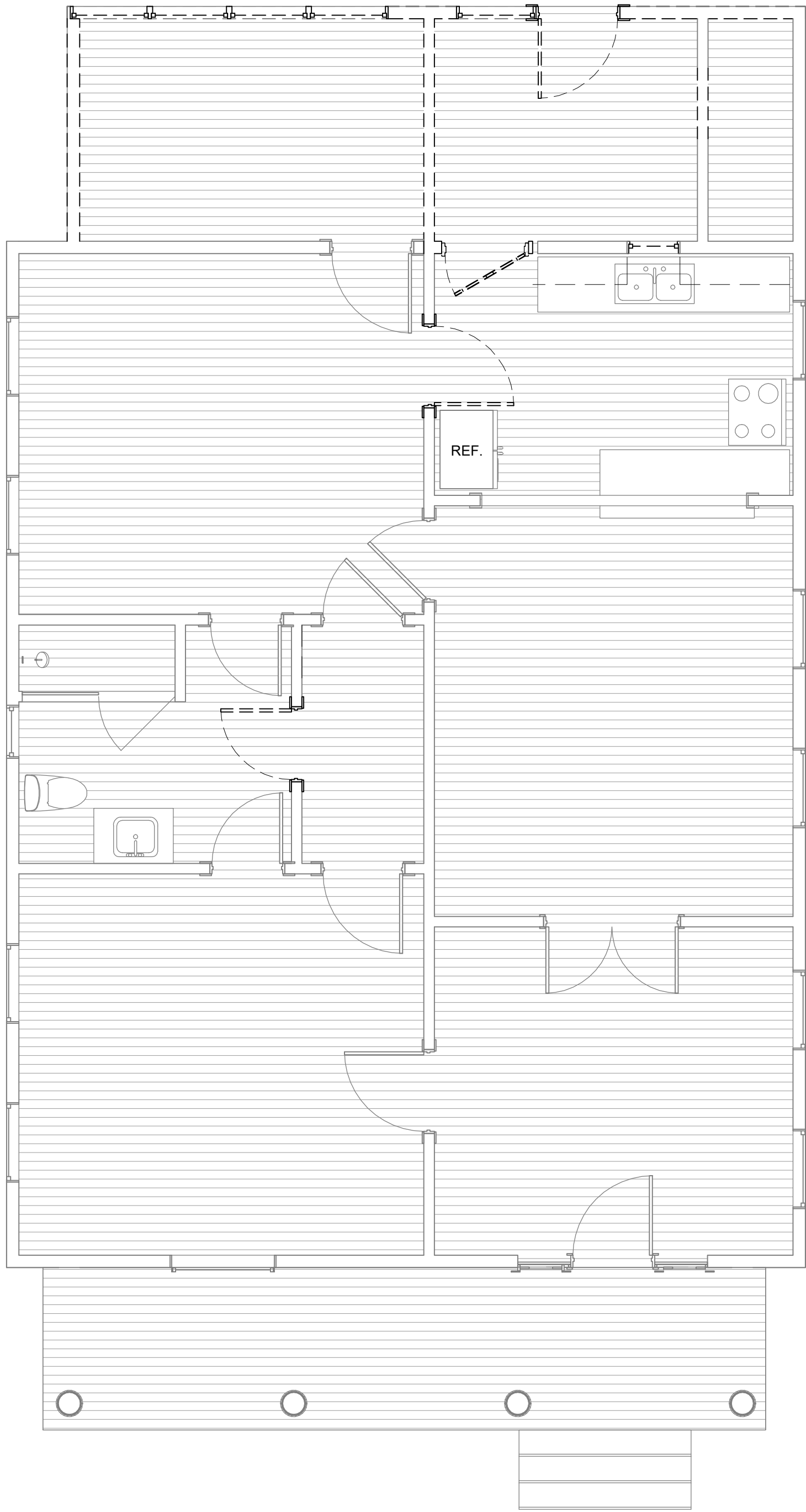
CONSTRUCTION: 3.14.2022

COVER

PROJECT NO: 202104

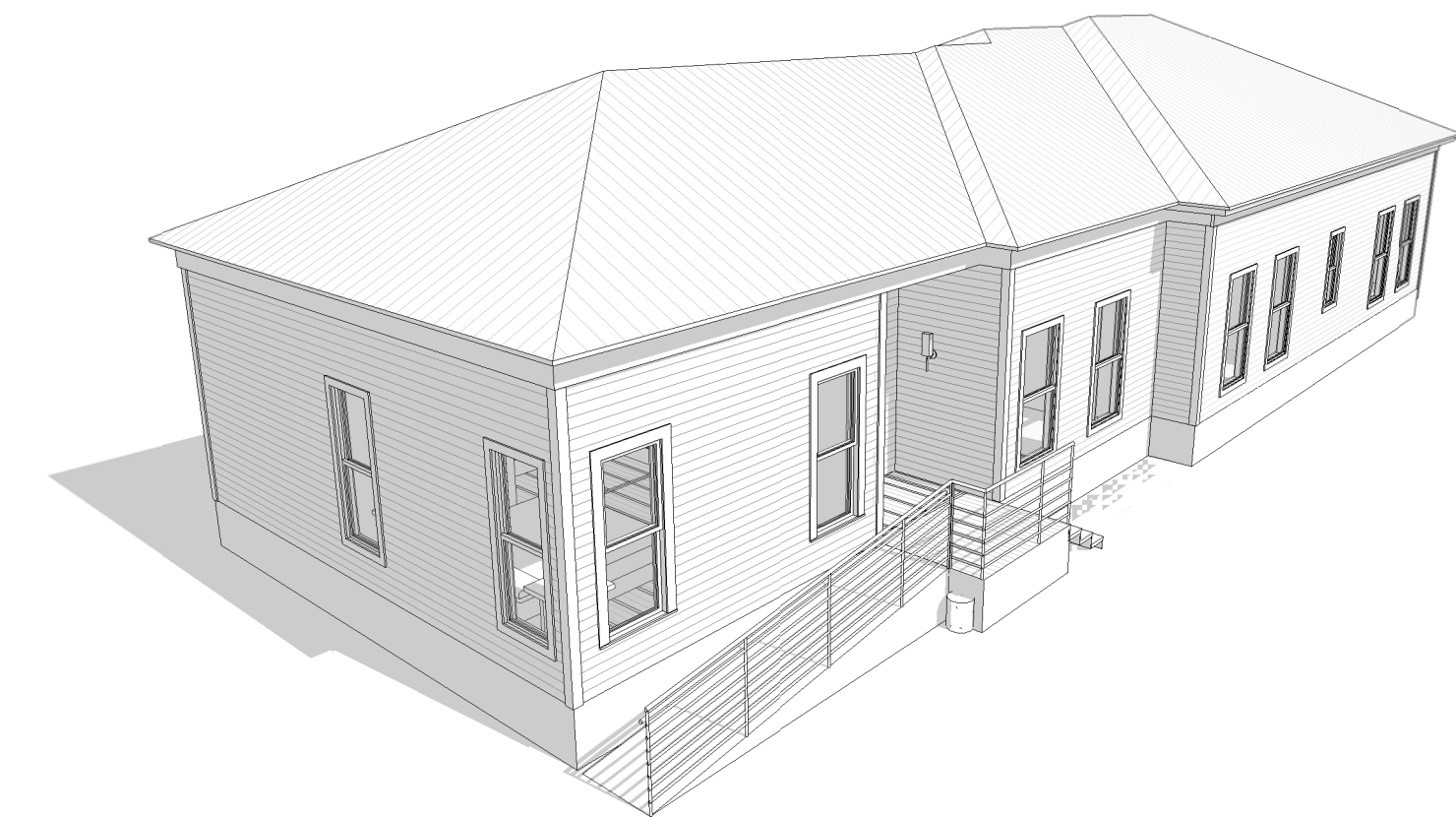
DRAWN BY: JM

A-1.0



1 EXISTING / DEMOLITION FLOOR PLAN

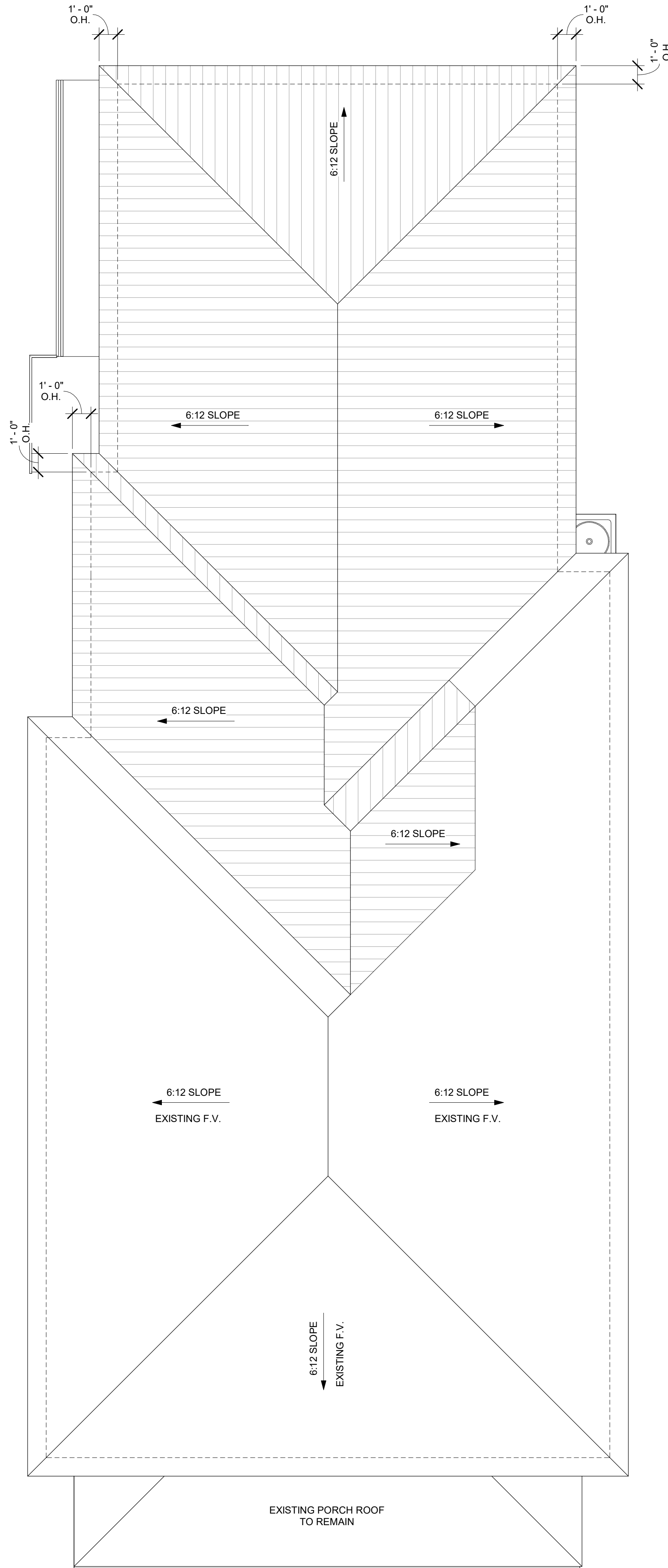
1/4" = 1'-0"



3 PERSPECTIVE VIEW

DEMOLITION NOTES:

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT AND SERVICES TO PROPERLY EXECUTE THE DEMOLITION AND REMOVAL WORK INDICATED ON THESE CONSTRUCTION DOCUMENTS
2. THE CONTRACTOR SHALL VISIT THE SITE AND INSPECT THE EXISTING BUILDING AND VERIFY THAT ALL ITEMS INDICATED TO BE EXISTING AND SO MARKED ON DRAWINGS ARE IN PLACE AND CORRECT
3. ALL DEMOLITION WORK SHALL BE PERFORMED WITH MINIMUM DAMAGE TO THE EXISTING WORK TO REMAIN. IT SHALL BE RECOGNIZED THAT UTMOST CARE BE TAKEN WHEN PERFORMING THE DEMOLITION WORK. PROVIDE BARRICADES WHERE REQUIRED TO PROTECT THE PUBLIC.
4. PROVISIONS SHALL BE MADE TO ALLEVIATE THE SPREAD OF DEBRIS, DIRT AND DUST TO THE ADJACENT PROPERTIES. THE PROPERTY SHALL BE KEPT CLEAN AS POSSIBLE AT ALL TIMES. ANY ASBESTOS REMOVAL SHALL BE DONE PRIOR TO ANY DEMOLITION WORK, THIS WORK SHALL BE DONE BY A LICENSED ABATEMENT COMPANY.
5. IF THERE IS ANY CONCERN WHETHER A INTERIOR WALL IS BEARING OR NOT, CONTACT ARCHITECT IMMEDIATELY TO SCHEDULE A VERIFICATION TIME. IF REQUIRED PROVIDE FRAMING & STRUCTURE DUE TO REMOVAL OF LOAD BEARING ELEMENTS.
6. WHERE ELECTRICAL NEEDS TO BE ABANDONED, REMOVE WIRE FROM OUTLET ALL THE WAY BACK TO THE ELECTRICAL PANEL / SOURCE. ALL WORK SHALL BE DONE BY A LICENSED ELECTRICIAN.
7. WHERE PLUMBING NEEDS TO BE ABANDONED, REMOVE ALL VENT STACK PIPE CAP & ROOF PENETRATION, REMOVE ALL OVERHEAD WATER LINES BACK TO POINT OF ENTRY (CAREFULLY VERIFY IF ANY LINES CAN BE RE-UTILIZED AS A PART OF NEW BUILD-OUT). ALL UNDERGROUND SANITARY, GREASE OR WATER LINES SHALL BE CAPPED-OFF BELOW SLAB. MAKE SURE ALL WATER HAS BEEN TURNED OFF PRIOR TO ANY WORK. ALL WORK SHALL BE DONE BY A LICENSED PLUMBER. NO DEAD WATER LEGS.
8. WHERE VENTILATION OR AIR CONDITIONING NEEDS TO BE ABANDONED, REMOVE ALL EXHAUST & OUTSIDE AIR DUCTS AS REQUIRED. ROOF TOP FANS SHALL BE REMOVED & THE OPENINGS DRIED-IN TO PREVENT ANY WATER PENETRATION IN THE SPACE. ALL WORK SHALL BE DONE BY A LICENSED HVAC CONTRACTOR.
9. WHERE GAS LINES OR SERVICE NEEDS TO BE ABANDONED, CAREFULLY REMOVE ALL PIPING, SHUT-OFF VALVES & FITTING AS REQUIRED. GAS METER & REGULATOR SHALL BE REMOVED BY UTILITY COMPANY. ALL WORK SHALL BE DONE BY A LICENSED SUB-CONTRACTOR.
10. DATA PRESENTED ON THESE DRAWINGS ARE AS ACCURATE AS SURVEYS AND PLANNING CAN DETERMINE, BUT ABSOLUTE ACCURACY IS NOT GUARANTEED. FIELD VERIFICATION OF THE PLANS IS THE RESPONSIBILITY OF THE CONTRACTOR SINCE FINAL DISTANCES,
- LOCATIONS AND HEIGHTS WILL BE GOVERNED BY ACTUAL FIELD CONDITIONS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IN AREAS TO BE RENOVATED PRIOR TO BID IN ORDER TO PROVIDE AN ACCURATE BID AND BE AWARE OF ALL CONSTRUCTION METHODS NEEDED TO PROVIDE THE FINISHED PRODUCT AS SHOWN ON THE PLANS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / ENGINEER FOR A DECISION TO RESOLVE CONFLICTS PRIOR TO BID.
11. CONSTRUCTION IN AREAS TO BE RENOVATED SHALL BE CAREFULLY COORDINATED WITH THE OWNER, AND DESIGNER PRIOR TO CONSTRUCTION. EXISTING EQUIPMENT WILL BE RELOCATED OR STORED AS PER OWNER'S DIRECTION. EQUIPMENT AND FURNISHINGS TO BE STORED SHALL BE PROTECTED FROM DAMAGE AND VANDALISM IN LOCATIONS ACCEPTABLE TO THE OWNER.
12. DASHED LINES ON DEMOLITION PLAN INDICATED EXISTING MATERIALS TO BE REMOVED. EQUIPMENT TO BE REUSED SHALL BE STORED AND PROTECTED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE RESULTING FROM CONSTRUCTION WILL BE REPAIRED TO ITS ORIGINAL STATE.
13. ITEMS TO REMAIN AND TO BE PROTECTED ARE DESIGNATED WITH CONTINUOUS LINES. IF DAMAGE OCCURS, PATCH, REPAIR, OR REPLACE DAMAGED ITEMS AT NO COST TO OWNER.
14. REPAIR SOFFIT, CEILING, WALL AND FLOOR FINISHES LEFT VOID OR DAMAGED BY DEMOLITION WORK.
15. REPAIR WALLS DAMAGED BY DEMOLITION TO PROVIDE SMOOTH SURFACE, WITH PATCHES DRESSED FLUSH, SMOOTH AND READY TO RECEIVE FINISH MATERIAL.
16. DEMOLITION EXPOSING THE INTERIOR OF THE BUILDING TO THE OUTSIDE ELEMENTS OR TO THE PUBLIC SHALL BE PROPERLY SEALED AND PROTECTED TO ELIMINATE DAMAGE FROM VANDALISM OR WEATHER DURING CONSTRUCTION.
17. PROVIDE SCREENING FROM DUST, FUMES, SMOKE, WATER, AND NOISE WHERE DEMOLITION REQUIRES CONSTRUCTION TO BE EXPOSED TO NORMAL OPERATIONS OF THE RESIDENCE.
18. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. PROBLEMS OR DISCREPANCIES IN THE PLAN SHALL BE REPORTED AT ONCE TO THE ARCHITECT AND ALL WORK INVOLVED AT SAID QUESTIONED AREA SHALL BE HALTED UNTIL ARCHITECT GIVES NOTICE TO PROCEED.
19. COORDINATE PLUMBING, MECHANICAL, AND ELECTRICAL DEMOLITION AS INDICATED IN PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS WHEN PRESENT. EXISTING MILLWORK, LIGHTING AND PLUMBING FIXTURES NOT TO BE REUSED.



2 ROOF PLAN

1/4" = 1'-0"

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ISSUE:

CONSTRUCTION: 3.14.2022

DEMO FLOOR PLAN

PROJECT NO: 202104

DRAWN BY: JM





FLOOR PLAN GENERAL NOTES:

- ALL NEW BASE TO BE 1 X 8 PAINTED WD
- ALL NEW INTERIOR WALLS TO BE 5/8" GWB PAINTED. COORDINATE COLORS W OWNER. COORDINATE FINAL TEXTURE W OWNER.
- AT NEW ADDITION PROVIDE FOR NEW HARDWOOD FLOORS TO MATCH EXISTING.
- COORDINATE REPLACEMENT OF EXISTING DOORS W OWNER PRIOR TO ORDERING.
- STYLE AND SIZES OF ALL NEW DOORS ARE TO BE COORDINATED W/ OWNER PRIOR TO ORDERING.
- FINISH AT EXTERIOR SHALL BE WD SIDING TO MATH EXISTING. PROVIDE SAMPLE FOR REVIEW PRIOR TO ORDERING.
- PROVIDE SUBMITTAL TO OWNER FOR ALL ITEMS SPECIFIED PRIOR TO ORDERING FOR OWNER APPROVAL.

FRAMING GENERAL NOTES:

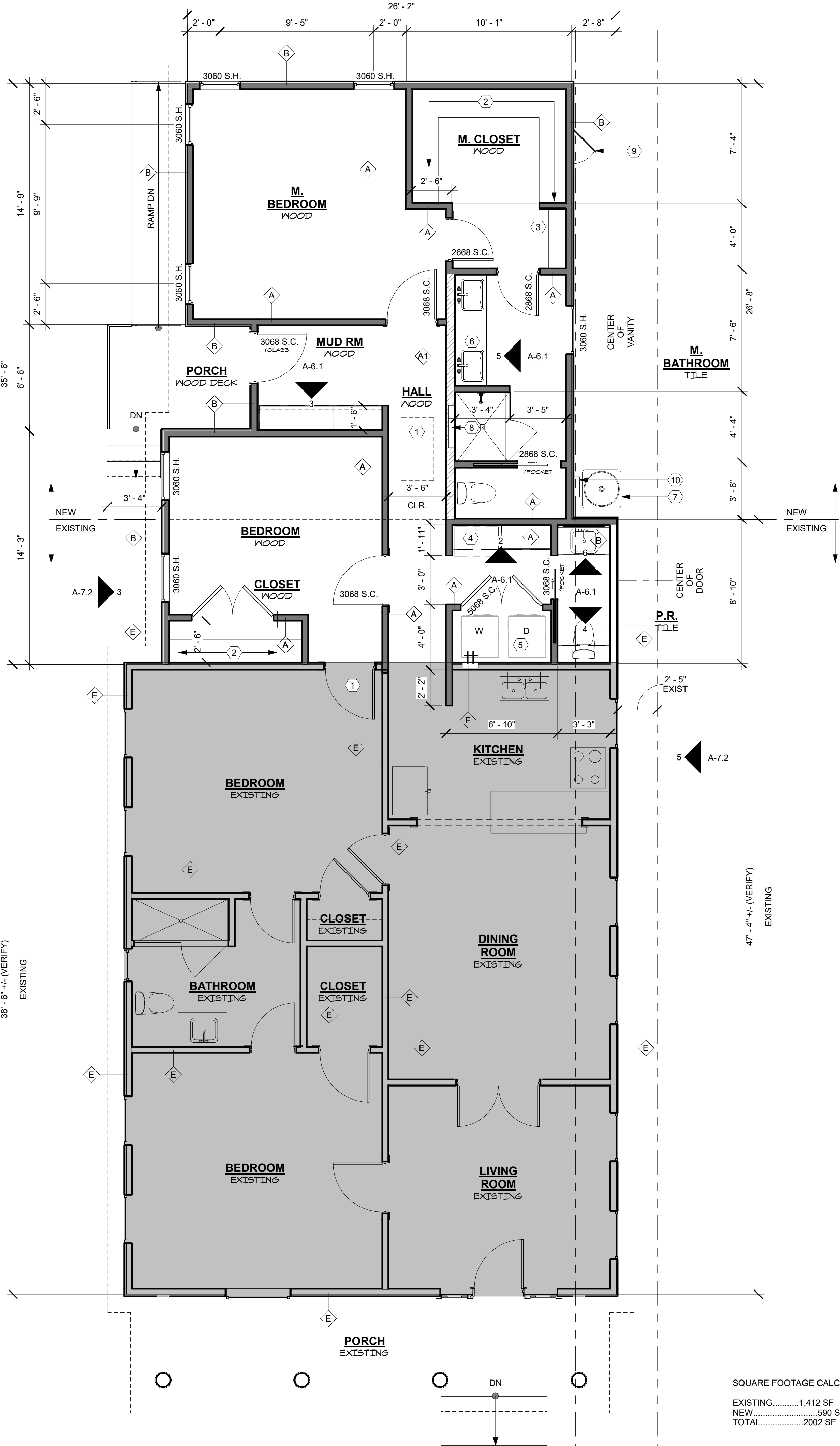
HEADERS ARE TO BE (2) 2X12 ABOVE ALL EXTERIOR WINDOWS AND DOOR OPENINGS. AT INTERIOR OPENINGS ALL HEADERS ARE TO BE (2) 2X6. AT NEW ADDITION BETWEEN DINING RM AND LIVING ROOM PROVIDE LVL 5-1/4" X 11-1/4" FOR 14'-6" SPAN OR PER MANUFACTURE'S REQUIREMENTS. (RE: FLOOR PLAN FOR LOCATION). ALL FRAMING LUMBER TO BE 2X4 OR 2X6 KILN DRIED SOUTHERN YELLOW PINE #2 OR BETTER WOOD FRAMING. ALL CEILING JOISTS & RAFTERS ARE TO BE 2X6 FRAMING AT 16" O.C.

WALL LEGEND

- E  EXISTING PARTITION TO REMAIN.
- A  NEW INTERIOR PARTITION. 2X4 STUDS KILN DRIED SOUTHER YELLOW PINE #2 OR BETTER @ 16" O.C. WITH 5/8" TYPE GYP. BD. EA. SIDE.
- A  NEW INTERIOR PARTITION. 2X6 STUDS @ 16" O.C. WITH 5/8" TYPE GYP. BD. EA. SIDE.
- B  NEW EXTERIOR WALL. 2X6 STUDS KILN DRIED SOUTHER YELLOW PINE #2 OR BETTER @16" O.C. .INTERIOR FINISH TO BE 5/8" TYPE "X" GYP. BD. FINISH & PAINT TO MATCH EXISTING PROVIDE FOR EXTERIOR SHEATHING AND VAPOR BARRIER . EXTERIOR FINISH TO MATCH EXISTING.

FLOOR PLAN KEYED NOTES

- NEW ATTIC ACCESS DROP DOWN LADDER.
- DOUBLE SHELF AND ROD. COORDINATE EXACT CONFIGURATION WITH OWNER
- SHOE STORAGE SHELVLING. COORDINATE WITH OWNER.
- LOW REFRGERATOR TO BE PROVIDED BY OWNER
- AT WASHER DRYER PROVIDE FOR POWER, WATER AND VENT CONNECTIONS AS REQUIRED. VERIFY EQUIPMENT SPEC W OWNER.
- NEW SOLID SURFACE COUNTERTOP AND BASE CABINETS TO BE SELECTED BY OWNER.
- PROPOSED LOCATION OF NEW AC CONDENSING UNIT ON CONC. PAD.
- TILED NICHE
- ACCESS PANEL TO CRAWL SPACE
- WALL MOUNTED TANKLESS WATER HEATER
- NEW WOOD FRAMED RAMP & GUARDRAIL



 1 FLOOR PLAN PRELIMINARY
1/4" = 1'-0"

SQUARE FOOTAGE CALCULATIONS:
EXISTING.....1,412 SF
NEW.....590 SF
TOTAL.....2,002 SF

318 FLORIDA ST
SAN ANTONIO TX 78210

JASON MORAN
COLLABORATIVE DESIGNER

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FLOOR PLAN

PROJECT NO: 202104
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A-2.0

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ISSUE:

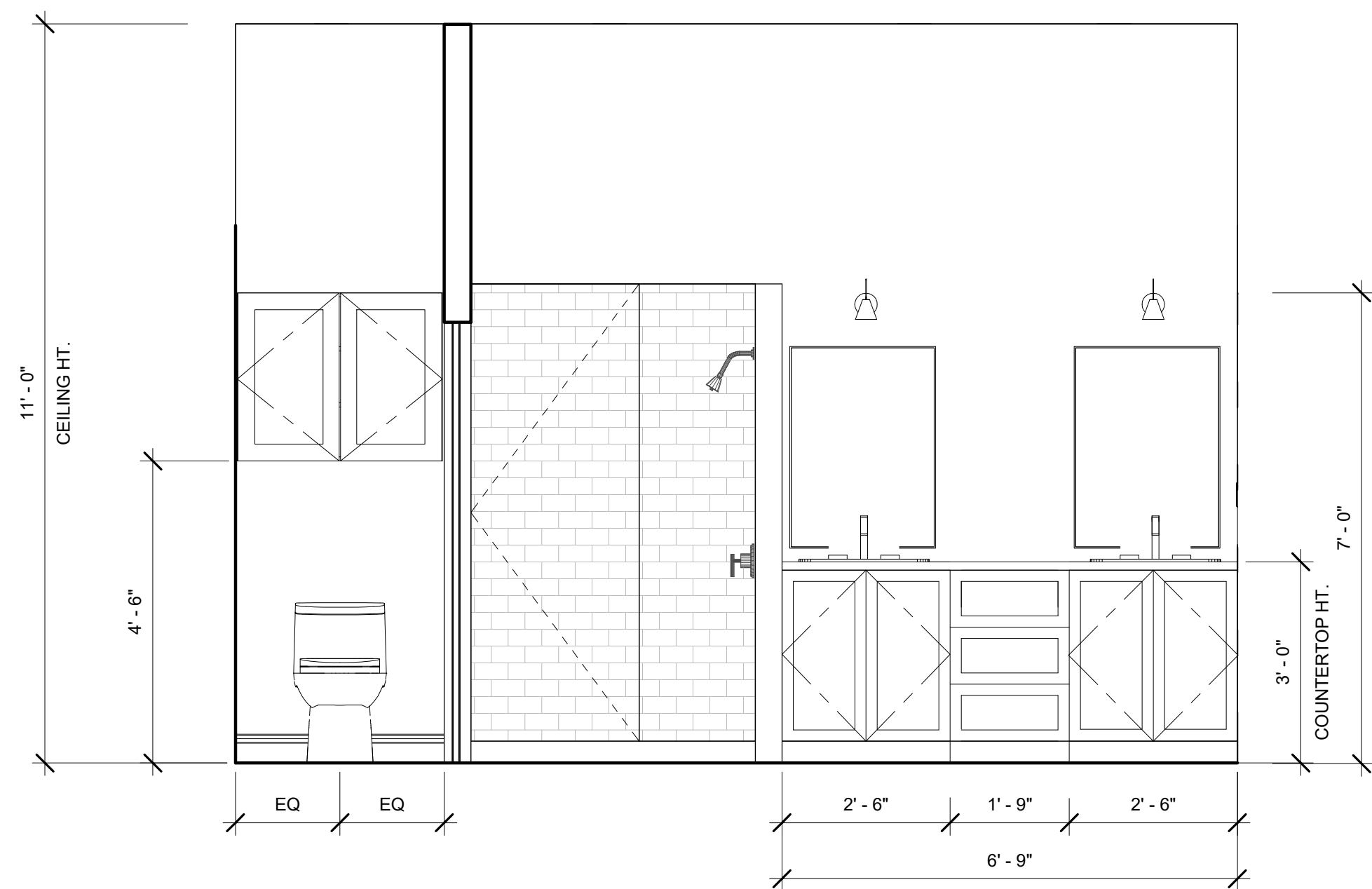
CONSTRUCTION: 3.14.2022

POWER & LIGHTING
PLAN

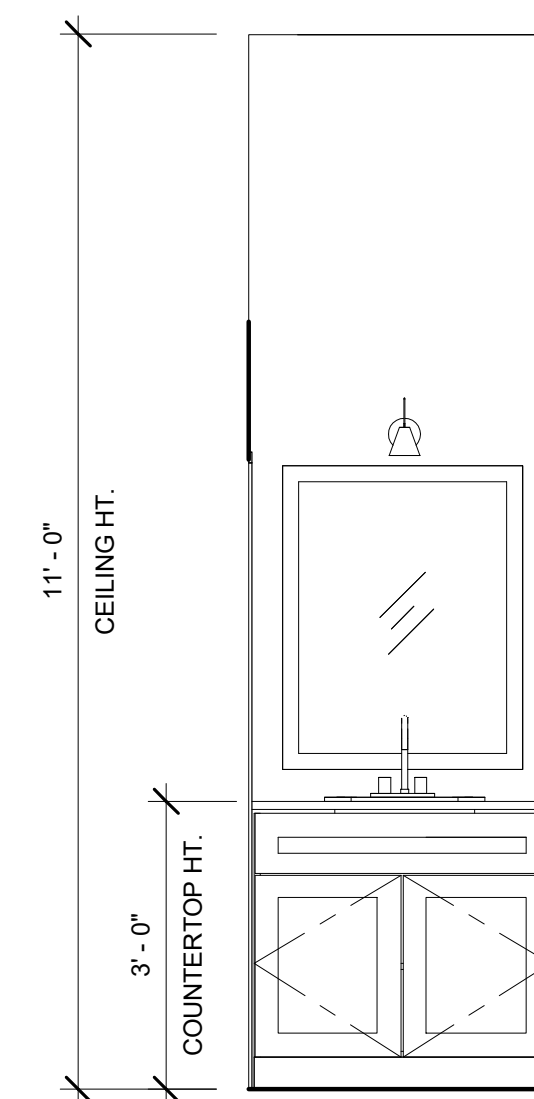
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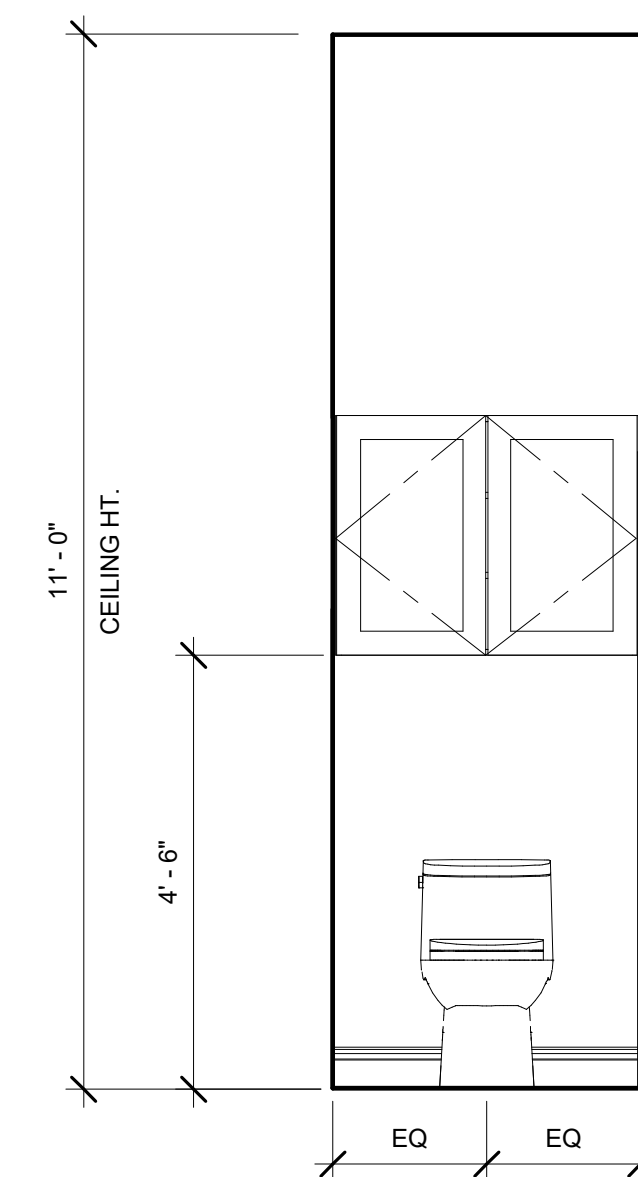
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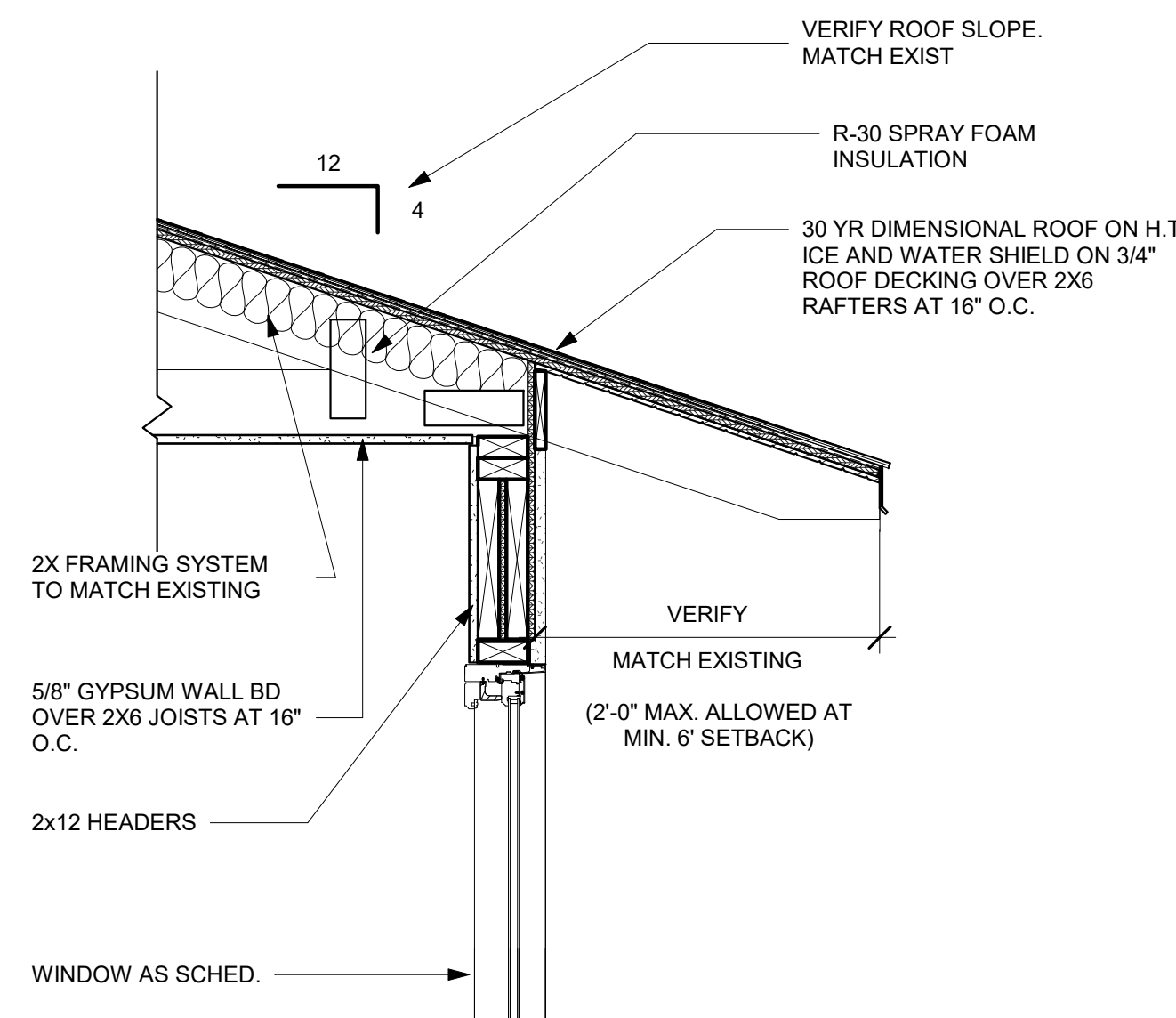
5 MASTER BATHROOM VANITY
1/2" = 1'-0"



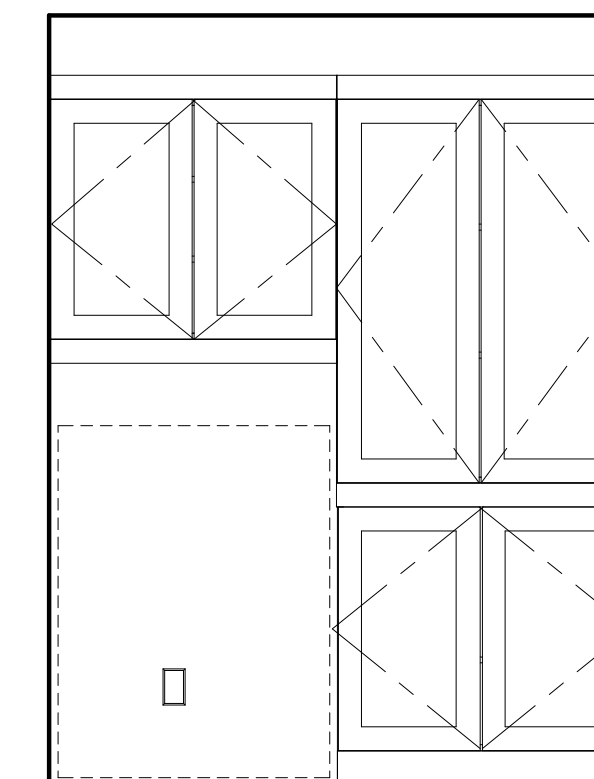
6 POWDER ROOM VANITY
1/2" = 1'-0"



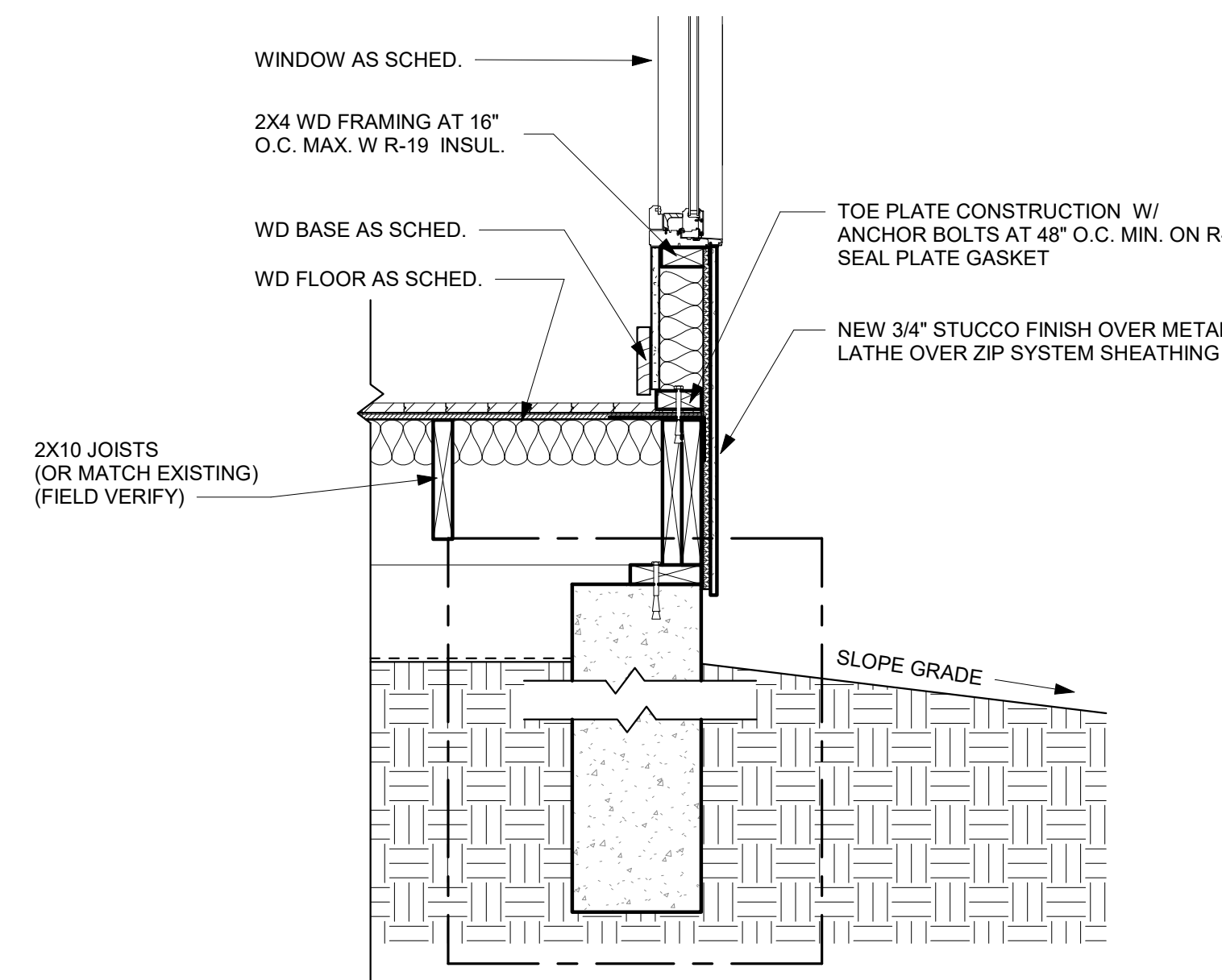
4 POWDER ROOM
1/2" = 1'-0"



3 BACK ENTRANCE STORAGE
1/2" = 1'-0"



2 LAUNDRY STORAGE
1/2" = 1'-0"

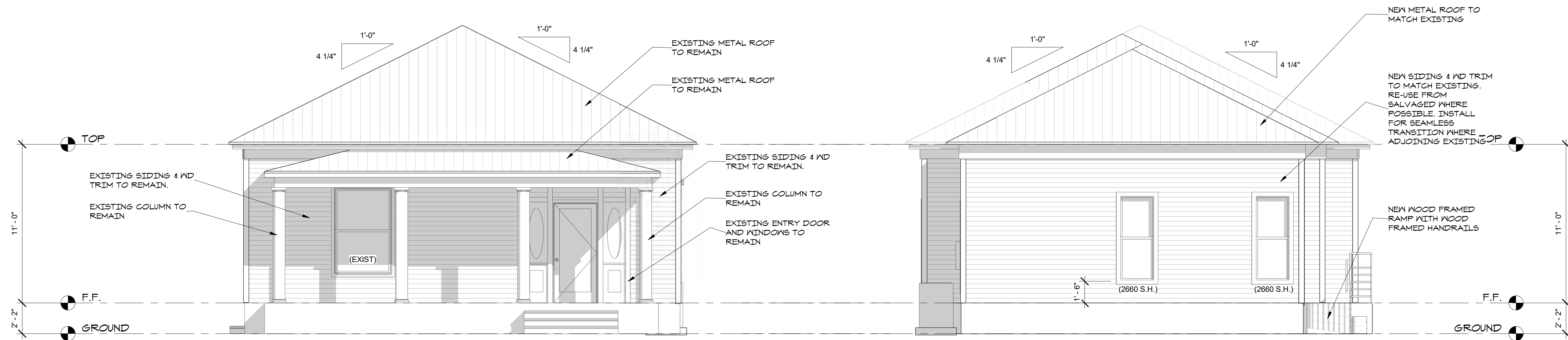


7 EXTERIOR WALL SECTION
1" = 1'-0"

POWER AND LIGHTING LEGEND

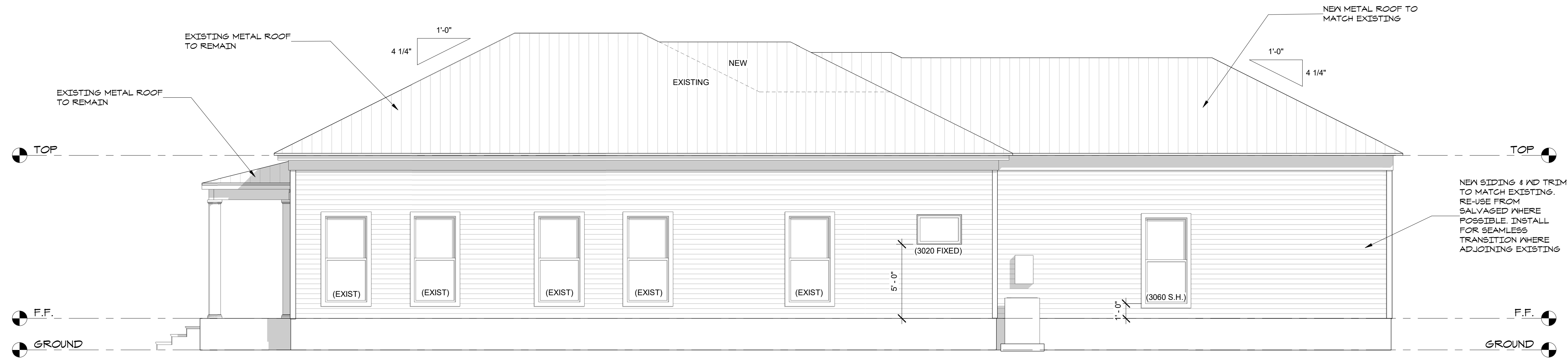
- | | | | |
|-------|---|-----|--|
| ○ A | 4" RECESSED CAN LIGHT | | AUBE 54" 3 BLADE CEILING FAN WITH REMOTE |
| ○ B | RECESSED CAN AT SHOWER MOISTURE RESISTANT | | LIGHT PATH |
| ⊕ C | WALL MOUNTED LIGHT FIXTURE (INTERIOR) | | HEATER / VENT |
| ⊕ G | WALL MOUNTED WALL SCONCE (EXTERIOR) | | DUPLEX OUTLET |
| ⊕ S | LIGHT SWITCH | GFI | GROUND FAULT INTERRUPTED |
| ⊕ S 3 | 3 WAY LIGHT SWITCH | WP | WEATHER PROOF |

GENERAL NOTES:
-VERIFY ALL CABINET DESIGNS W OWNER PRIOR TO FABRICATION
-VERIFY ALL LIGHT FIXTURE HEIGHTS W OWNER PRIOR TO INSTALLATION
-VERIFY ALL OUTLET LOCATIONS AND LAYOUT W OWNER PRIOR TO PULLING ELECT. WIRE
-NOTIFY OWNER/DESIGNER OF ANY DISCREPANCIES IN COORDINATION OF ELEC/MILLWORK
-ALL FINISHES TO BE SELECTED BY OWNER. PROVIDE SUBMITTAL FOR APPROVAL
-ALL PLUMBING FIXTURES TO BE SELECTED BY OWNER. PROVIDE SUBMITTAL FOR APPROVAL

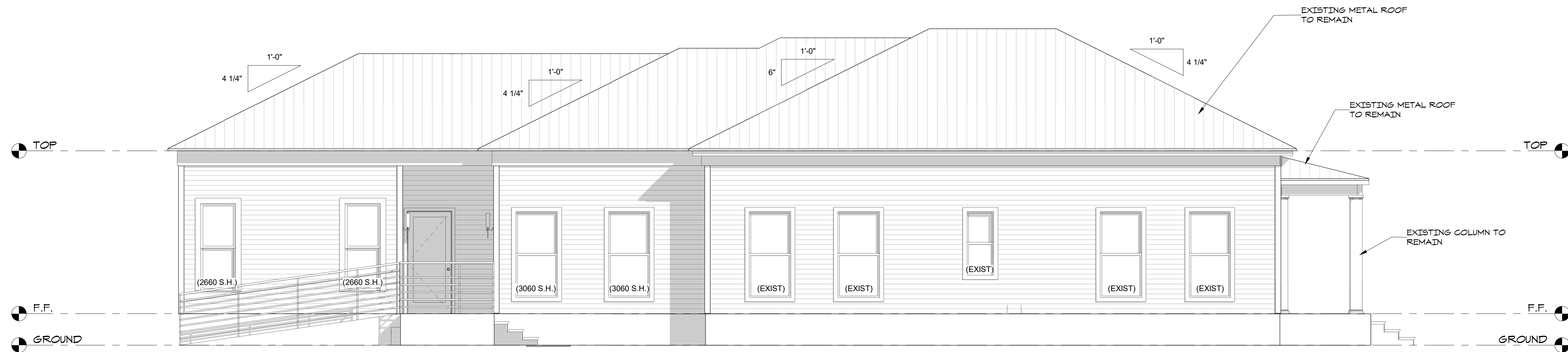


2 NORTH ELEVATION
1/4" = 1'-0"

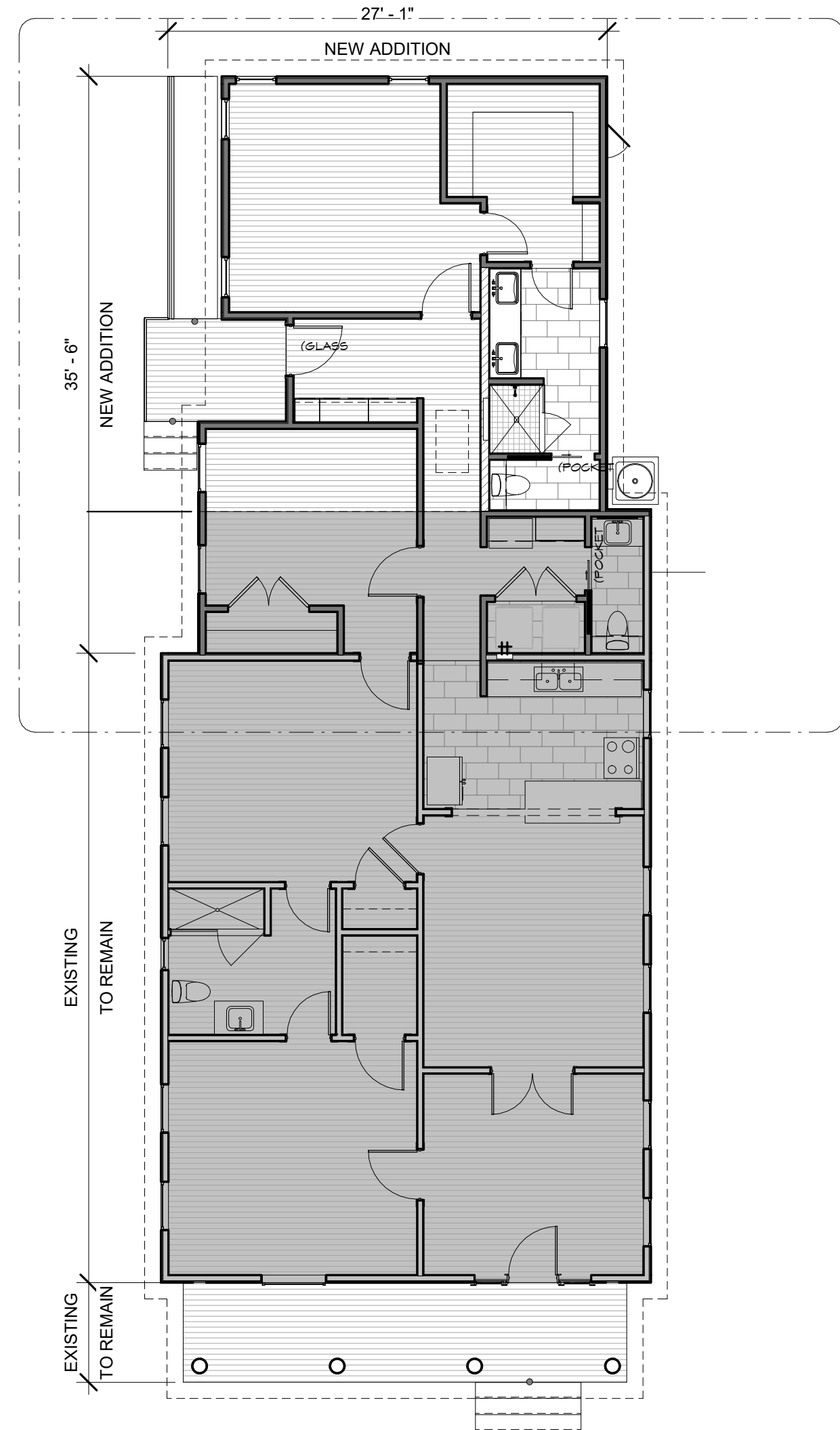
4 SOUTH ELEVATION
1/4" = 1'-0"



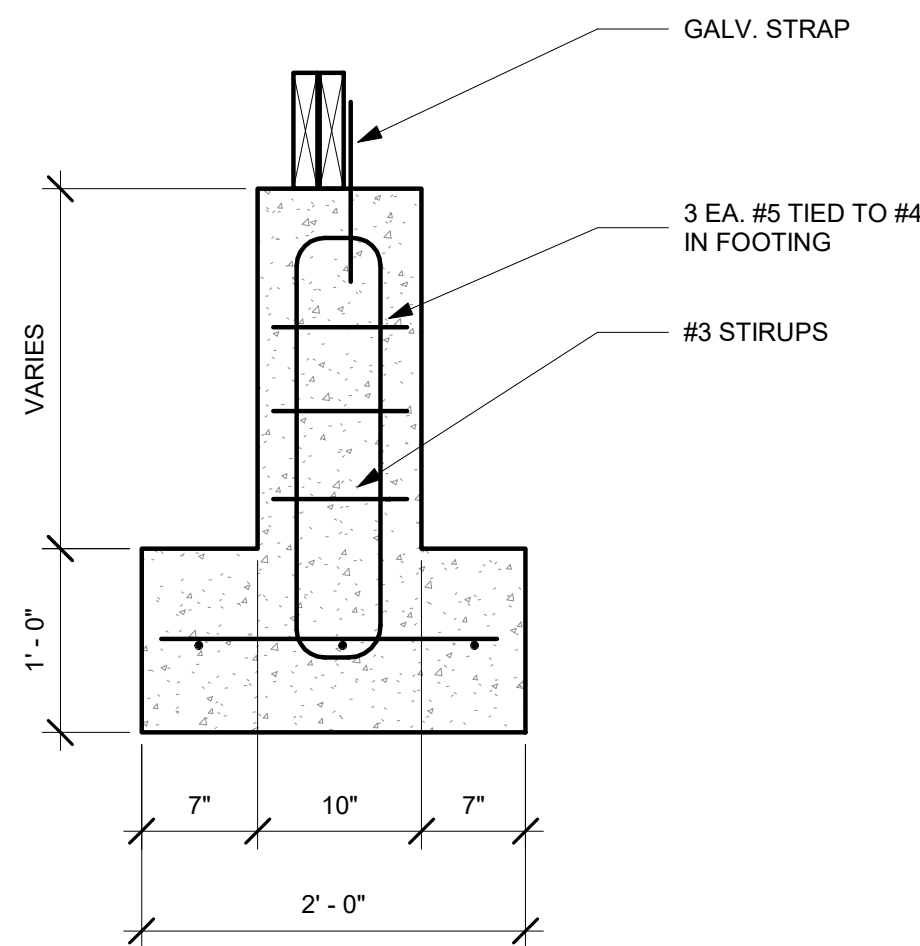
5 WEST ELEVATION
1/4" = 1'-0"



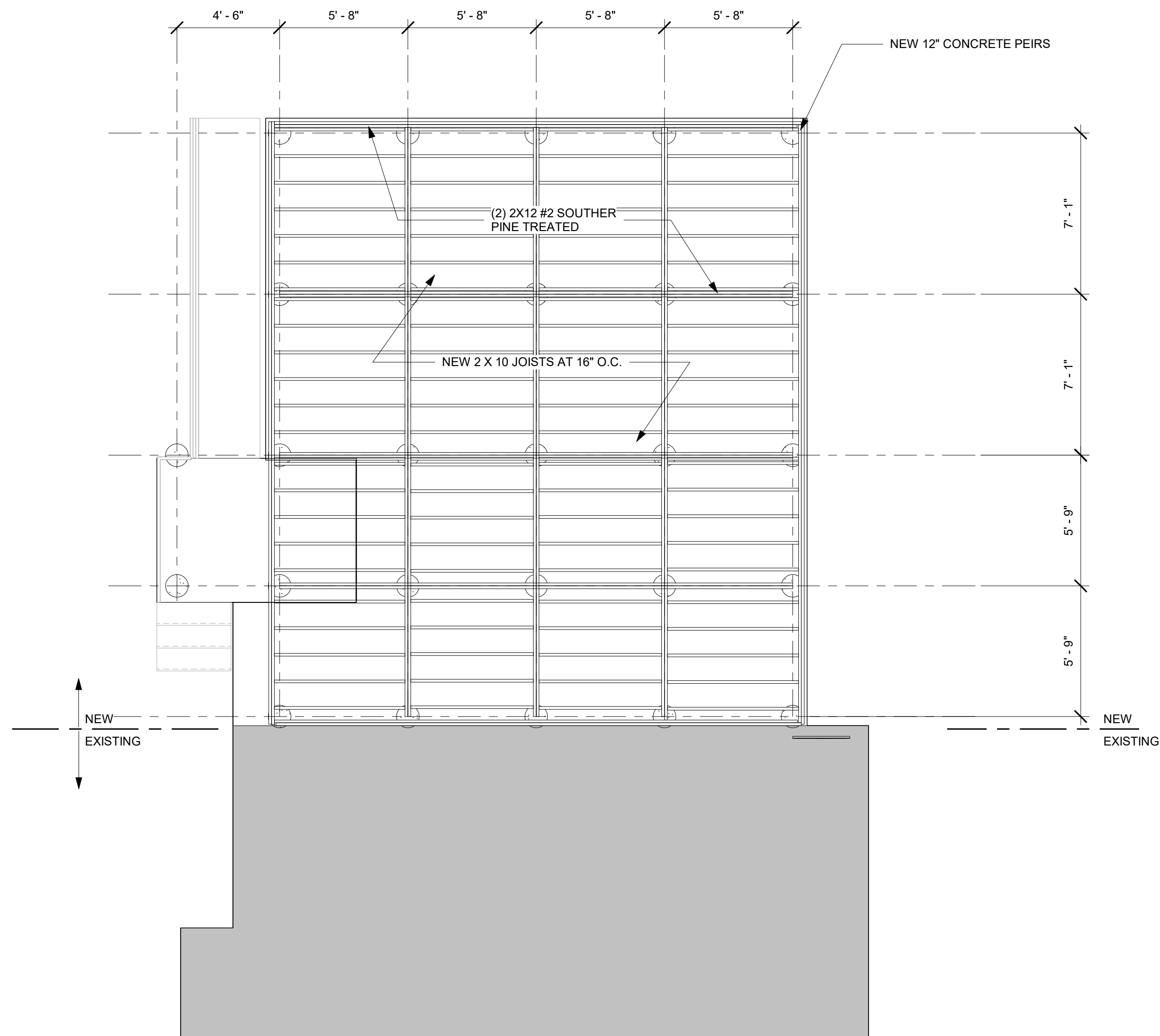
3 EAST ELEVATION
1/4" = 1'-0"



1 OVERALL FOUNDATION PLAN
1/8" = 1'-0"



3 TYP. CONC. FOOTING DETAIL
1" = 1'-0"



2 FLOOR PLAN PRELIMINARY Copy 2 - Callout 1
1/4" = 1'-0"

TITAN ENGINEERING
CONSULTANTS

5114 Balcones Woods Drive
Suite 307
Austin, Tx 7875+
Phone (512) 917-2272

F16703



3.14.2022

318 FLORIDA ST
SAN ANTONIO TEXAS 78210

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ISSUE:
REVIEW

STRUCTURAL
DETAILS

PROJECT NO: 202104
DATE: 3.14.2022
DRAWN BY: JM

A-7.3







